

This is intended as a guide only and may be used to assist in preparing plans for detached accessory buildings (or *accessory structure*), including garages, sheds, workshops, studios, etc. Accessory structures less than 10 m² do not require a building permit but must be sited in accordance with zoning regulations.

Extract from Delta Zoning Bylaw Section 6.2.16: Accessory Structures:

Where an *accessory structure* is permitted on a *lot* in a *RS zone* other than RSC and RSF, or in a *RD zone*, the following regulations shall apply:

- (a) A maximum of one (1) plumbing fixture, limited to a sink only, is permitted in any *accessory structure* except that where a lot contains an outdoor in-ground swimming pool, three (3) plumbing fixtures are permitted;
- (b) For any *accessory structure* greater than 20 m² to be built on a lot, the owner of the lot shall, prior to the issuance of a building permit for the *accessory structure*, enter into and register on title of the lot a Section 219 restrictive covenant stating that
 - i. there is a maximum of 1 plumbing fixture, limited to a sink only, and
 - ii. the *accessory structure* shall not be converted into or used as a *dwelling unit* or otherwise used for habitation;
- (c) A covered deck or a porch is not permitted for an *accessory structure*.

Permit Application Checklist:

- Building Permit Application
- Schedule 2
- Schedule 3 (if required)
- Two sets of construction plans, which include:
 - Site Plan
 - Cross Section
 - Floor Plan
 - Building Elevations
- Accessory structures greater than 20 m² require registration of a restrictive covenant on the property title.

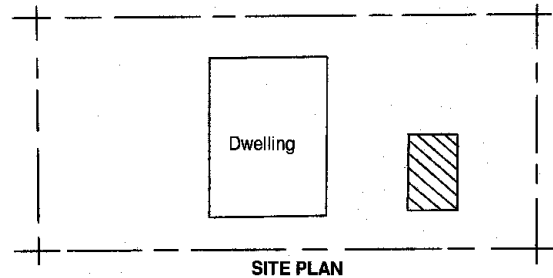
Note:

- Drawings must be to scale – 1/4" = 1'0" (Site plan 1/8")
- **(Drawings on graph paper and pencil drawings cannot be accepted)**
- Sample drawings are attached.

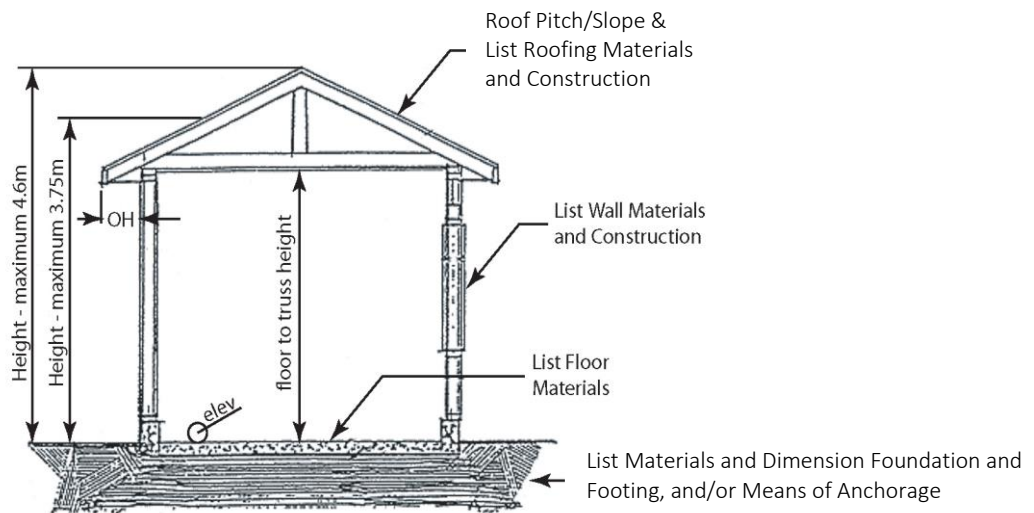


Site Plan must include:

- Civic address, dimensions of site, North Arrow, adjoining street(s)
- Dimensions and location of existing and proposed buildings, and driveway
- Setbacks from proposed accessory building to property lines
- Calculation of Floor Space Ratio
- Calculation of site coverage
- Calculation and details of impermeable surfaces
- Existing and proposed paving/landscaping
- Drawings must include a statement regarding conformance to the BC Building Code



CROSS SECTION: DETAIL CONSTRUCTION ASSEMBLIES



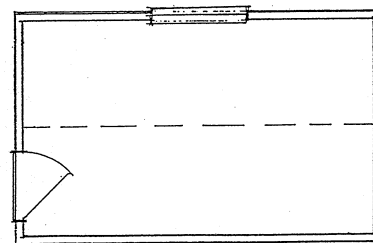
Height:

- Maximum height 4.6m to the roof ridge for 'Pitched Roof' building.
- Maximum height 3.75m to the top of the roof for flat or mansard type roofs or to the mean level between the eaves and the ridge for sloping roofs.
- Maximum one storey.

FLOOR PLAN

Indicate:

- Dimensions
- Window Sizes
- Door sizes
- Ridge line (roof)



Note: No windows permitted in walls less than 1.2m from property line



ELEVATION



Impermeable Surfaces and Front Yard Landscaping:

“Delta Bylaw No. 5635, 2000”, is designed to implement better management of storm runoff through the use of permeable yard surfaces. It also addresses environmental and aesthetic issues by restricting the amount of impermeable surfaces, and requiring at least 50% of a front yard to be landscaped and not used for parking.

Site plans submitted with building permit applications must now include the following information. Please label all material and show calculations.

1. Calculate area covered by impermeable material:

Maximum of 60% of the total lot area may be covered by impermeable material. Impermeable material restricts water from penetrating into the ground and includes buildings, structures, asphalt, concrete, brick, stone and wood surfaces.

2. Calculate front yard landscaping:

A minimum of 50% of the front yard is to be landscaped and not used for parking. Landscaping is defined as any combination of trees, bushes, shrubs, plants, flowers, lawns, bark mulch, decorative boulders, decorative paving, planters, sculptures, decorative fences and the like, arranged and maintained so as to enhance and embellish the appearance of the property.

Other information:

If you are on a sloped lot, you will need to provide the Vertical Building Envelope: Means a 3-dimensional space which is determined in accordance with Section 6.2.14(e) of the Delta Zoning Bylaw and above which buildings and structures may not project.

Permitted Projections: Minimum setback from eave overhang to property line is 0.6m.

