

Demolition Permit Application form must be accompanied by:

- Fee and deposit(s)
- Schedule 2
- Schedule 3 (if applicable)
- Certificate of Insurance (naming Delta as an additional insurer, address of construction site and \$5,000,000 liability insurance)
- Rodent Inspection and Control Declaration

Demolition cannot take place until Tree Protection and Capping of Services Inspections are accepted.

Once the Demolition and Highway Use Permits have been issued, the Applicant must schedule the following inspections online in the order listed:

1. **Tree Protection Inspection:**

Inspector will attend the site, determining that all required trees have been protected as per Tree Bylaw.

Notes:

- The tree inspection **must be accepted before** scheduling the capping of services inspections.
- Only minimum excavation work to expose the services will be permitted on the site at this stage in the process. Any excavation work done within the tree protection zone will require an arborist assessment report.
- The demolition permit does not constitute a tree cutting permit. If a tree cutting permit is required, it must be obtained prior to removal of any trees, or alternatively all trees on site must be protected.

2. **Capping of Services:**

Inspector will attend the site, determining that the services (Sanitary, Storm, and Water) have been disconnected and capped in an approved manner.

Notes:

- The applicant must expose and disconnect/cap the sanitary, storm and water services at the property line and must place marker stakes to identify the location of the services as follows: Water (Blue); Sanitary (Red); Storm (Green).
- The capping of services inspection **must be accepted before** the applicant is permitted to proceed with demolishing the structure.

3. **Demolition Inspection:**

Inspector will attend the site, determining that the lot is clear and all conditions of the Demolition Permit and Highway Use Permit have been met.

4. **Boulevard Inspection:**

Inspector will attend the site to determine whether any damage has occurred to: sidewalks, curbs, boulevards, etc.

Note: This inspection may take place at the same time as the Demolition Inspection. Damage deposit will be released with Inspector's acceptance of this inspection.

Additional Information:

- In archaeological sensitive areas, please see separate handout prior to any digging or excavation on the property.
- At the Building Permit stage, Delta crews will replace or renew any 100 mm sanitary or storm services greater than 25 years old, and any 19 mm water service greater than 25 years old by installing a new service from the city main to your property line. For 100 mm sanitary and storm services, the flat fee will include the installation of an inspection chamber near the property line. Water service connection that is 19 mm or less installed at property line for a serviced lot, including meter chamber and components, the flat fee service rates are: water service \$4,547, sanitary service \$5,189 and storm service \$2,950.
- For 19 mm water services *less than* 25 years old, Delta crews will perform an actual cost installation of a water meter on the existing service. For this work a deposit of \$2100 will be required, although you will be billed the full cost of this work, which may result in a refund or additional cost.
- For disconnection of service(s) a deposit will be required, although you will be billed the full cost of this work, which may result in a refund or additional cost.
- The City may choose to defer replacement of services for such reasons as recent road paving, etc. The flat fee will still be collected.



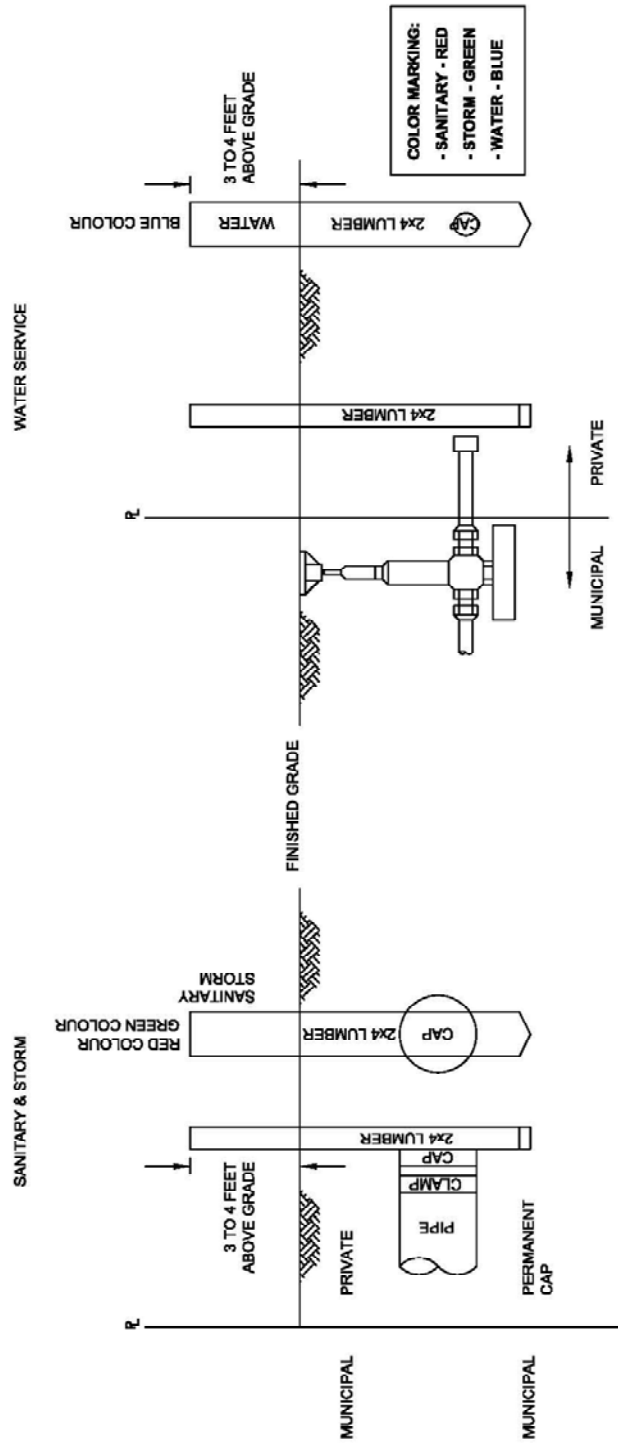
A demolition must not occur until a demolition permit application has been submitted, permit fee paid, the services capped and an approved demolition permit and highway use permit issued.

- Highway use permit is required.
- A protective barrier must be constructed to protect trees on the property and this must be inspected by a Development Technologist.
- Protection of storm system/silt fence/bag catch basins (on and off site).
- In archaeological sensitive areas, applicant requires an archaeological survey report prepared by a BC Association of Professional Consulting Archaeologist prior to any digging or excavation on the property.
- Prior to issuing a Demolition Permit, the City of Delta requires property owners to provide a report by a qualified Pest Control company certifying that all buildings and structures have been inspected for pest infestation, specifically rats, and that if any were found, measures have been taken to remove them.
- Applicable fees and deposit will be collected at time of permit issuance. If all serviced structures on the property are being demolished, the applicant will be required to cap all existing sanitary, storm and water services at the property line. The applicant must expose and disconnect/cap the sanitary, storm and water services and provide confirmation to their assigned Development Technologist. In instances where a water service requires shutting off, applicants should call Engineering at 604-946-3260 for assistance.
- Where more than one building exists on a property and shall remain after demolition, on-site discontinuation will be required by the applicant. The applicant must expose and disconnect/cap the sanitary, storm and water services, and provide confirmation to their assigned Development Technologist. In instances where a water service requires shutting off, applicants should call Engineering at 604-946-3260 for assistance. The work is to be done in accordance with the BC Plumbing Code.
- The applicant must place marker stakes to identify the location of the services as follows: Water (Blue); Sanitary (Red); Storm (Green). This will assist municipal forces when new services are installed and old services permanently discontinued or upgraded as part of a building permit application.

At building permit stage, new services will be installed as required. Existing services over 25 years old and those not suitable for the application will be permanently discontinued and new services installed at actual cost. Services under 25 years old and suitable for the application may remain.



CAPPING OF SERVICES PRIOR TO DEMOLITION



ALL SERVICES TO BE PERMANENTLY CAPPED AND STAKED WITH COLOUR CODED, 2 BY 4 WOOD EXTENDING 3 TO 4 FEET ABOVE GRADE. ONCE INSPECTED AND APPROVED YOU CAN PICK UP YOUR DEMOLITION PERMIT. DO NOT DEMOLISH THE STRUCTURE UNTIL YOU HAVE PICKED UP YOUR DEMOLITION PERMIT.

SCALE: NTS



Excerpt from *Land Development Guidelines for the Protection of Aquatic Habitat*

Produced by the Habitat Management Division of the Department of Fisheries and Oceans and the Integrated Management Branch of the Ministry of Environment, Lands and Parks.

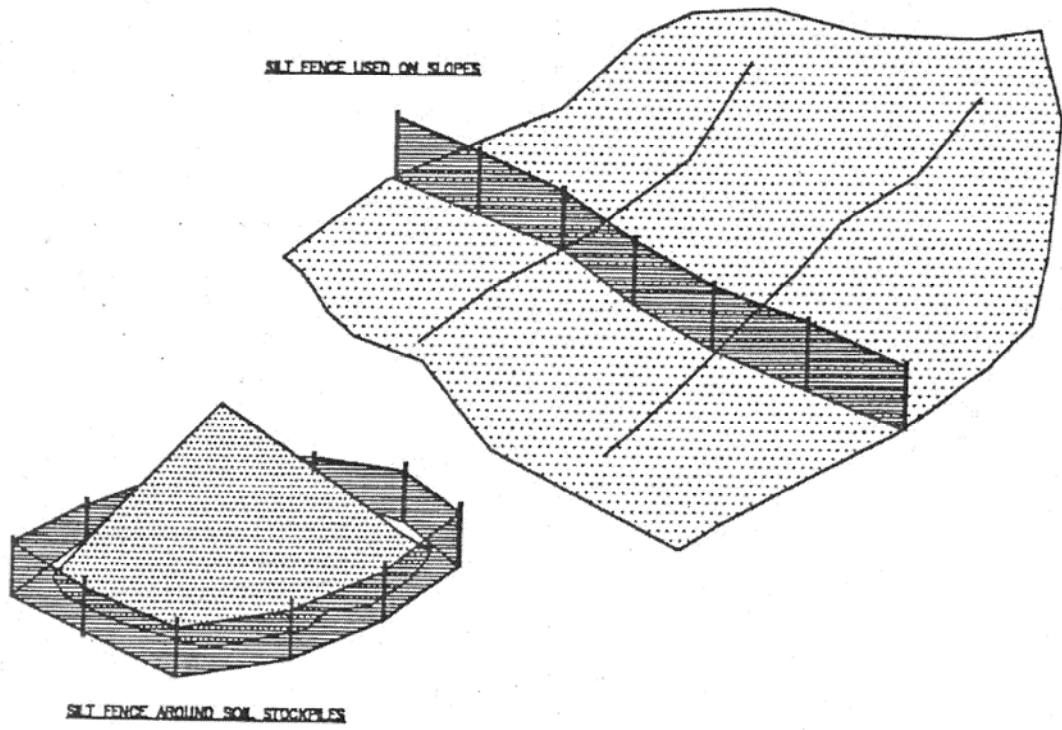
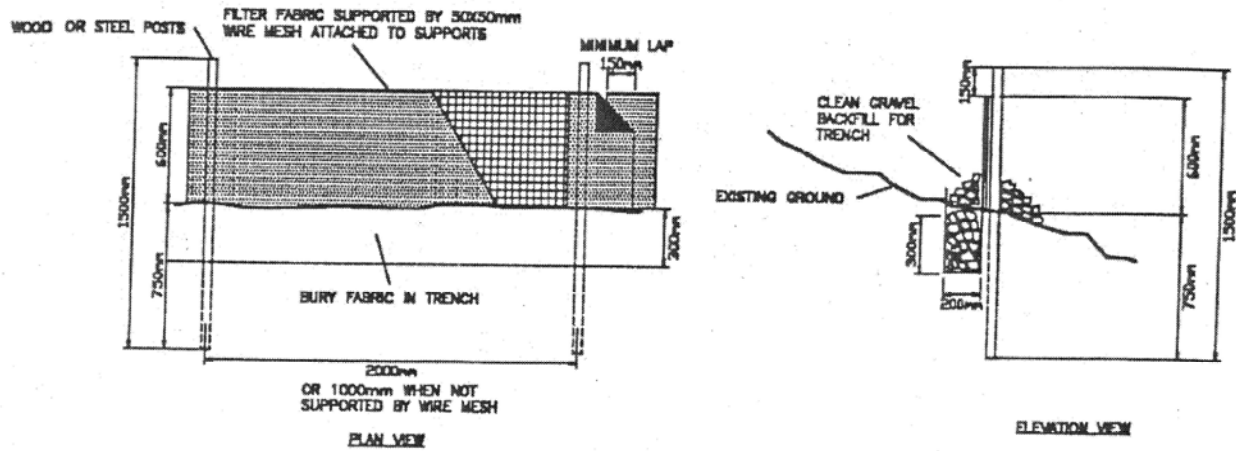
Silt Fences

Silt Fences are related structures provide an effective filter for sediment-laden runoff from eroded slopes and surfaces. The fine openings do not allow the passage of sediment coarser than about 0.02 mm. Silt fences are effective boundary control devices, trapping the sediment close to the erosion source and preventing mobilization into runoff, but have a limited sediment retention capacity. Figure 3.3 illustrates some typical applications using silt fences for erosion control, and design parameters.

- Silt or filter fences should be installed on the lower perimeter of slopes (lower 1/3 to 1/2 of site) and areas where the erodibility is high and/or it is desirable to contain waterborne movement of eroded soils. Such areas include the bottom of cut or fill slopes, material stockpiles and disturbed natural areas.
- Filter fabric or geotextile may be a pervious sheet or slit film woven polypropylene, nylon, polyester, or ethylene yarn, having the following properties:
 - Minimum Filtering Efficiency 90%
 - Minimum Flow Rate 0.012m³/m²/minute
 - Minimum Grab Tensile Strength 700 N.
 - Minimum Equivalent Opening Size 0.15 mm (median 0.21 mm)
- If standard strength filter fabric is used it must be backed by a wire fence supported on posts not over 2.0 meters apart. Fabric joints should be lapped at least 0.15 meters and stapled. The bottom edge should be anchored in a 0.30 meter deep trench, or some equivalent manner, to prevent flow under the fence.
- If the filter fabric decomposes or becomes ineffective, it must be replaced and the fence repaired.



Figure 3.3 Typical Silt Fence Construction and Applications



Guidelines for Control of Deleterious Substances

Common deleterious substances: sediments, raw and uncured concrete, mortar, glues, paints, lubricants, organic and inorganic contaminants, fuels and oils, can have detrimental or toxic effects on the aquatic environment and fish life (see Appendix 1 for definitions of “deleterious substances”). In most instances, the control of these substances can be dealt with through an awareness of their detrimental effects, the practice of good housekeeping (i.e. daily site clean ups, use of disposal bins, etc.) on the development project site, and the proper use, storage and disposal of such substances and their containers. The following control guidelines should be reviewed by the developer and construction contractor to ensure no deleterious substances are released into fish habitat.

- Raw or uncured waste concrete and grouts should be disposed of by removal from the development site or by burial on the site in a location and in a manner that will not impact on a watercourse.
- Wash down waters from exposed aggregate surfaces, cast-in-place concrete and from concrete trucks should be trapped onsite to allow sediment to settle out and reach neutral pH before the clarified water is released to the storm drain system or allowed to percolate into the ground (approximately 48 hours).
- Fuels, lubricants and hydraulic fluids for equipment used on the development site should be carefully handled to avoid spillage, properly secured against unauthorized access or vandalism and provided with spill containment according to codes of practice.
- Fuelling and lubricating of equipment onsite should only be done after the equipment to be serviced is moved to a constructed service pad with a separate drainage collection system, as far as possible from detention or sedimentation facilities and leave strips.
- Any spillage of fuels, lubricants or hydraulic oils should be immediately contained and the contaminated soil removed from the site and properly disposed of in accordance with the federal Department of Environment – Environmental Protection (DOE/EP) and the provincial Ministry of Environment, Lands and Parks – Environmental Protection Division (MOELP/EPD) requirements. Any spills should be reported immediately to DOE/EP (phone: 666-6100) and MOELP/EPD (phone 1-800-663-3456) for their counsel on appropriate clean up procedures.
- Hydraulic fluids for machinery used for in stream work should be biodegradable in case of accidental loss of fluid
- Waste oils and hydraulic fluids should be collected in leak-proof containers and removed from the site for proper disposal or recycling.
- The rinse and cleaning water or solvents for glues, paints, wood preservatives, and other potentially harmful or toxic substances on the development site should be controlled so as to prevent leakage, loss or discharge into the storm drain system.
- Gypsum board wastes must be removed from the project site, preferably to a recycling facilities, or an approved disposal sites (disposal of gypsum board wastes by burying onsite is not permitted).
- Wood wastes, such as hog fuel, sawdust and wood chips, are not acceptable fill material because of the potential release of toxic leachates from these wood wastes into the aquatic environment.
- Where land is being redeveloped and there is contamination of the site, those contaminants must be removed, disposed of, or otherwise neutralized, as prescribed by DOE/EP and MOELP/EPD, prior to proceeding with redevelopment of the affected lands. Potential mitigation and costs of contaminant removal are the responsibility of the land owner.



Guidelines for Development Site Access

Significant release of sediments to the drainage systems and receiving waters can be caused by site access development and lack of control during land development and building construction activities. Included in the design of proper site access for minimizing potential impacts are:

- Construction site accesses should be restricted in number and to locations that will serve as permanent access after development.
- Access pads and roads should be constructed prior to site area development, and in a manner that will prevent the loosening of native subsoil.
- Access roads should be constructed or topped with a suitable coarse, granular material with a minimum of fines and clays. Non-woven geotextile is recommended as a separation layer over the native subgrade. Organic topsoil should be stripped prior to road construction if possible and removed offsite or stockpiled.
- Wood wastes, such as hog fuel, sawdust and wood chips are not acceptable for the construction of access roads and support operations because of the potential release of toxic leachates from these wood wastes into the aquatic environment.
- Runoff from the access roads should be collected via interceptor ditches or swales. These flows should be routed to sediment ponds to allow the settling of sediments before release to the drainage system.
- Sweeping of loose soils from surfaced streets is recommended over water flushing to prevent soil entry into storm drains and the aquatic environment.
- Transport of excavated materials from the site should limit spillage on adjacent road surfaces and dropping of loose soils in the form of dust or mud from wheels, tracks and undercarriages of equipment.

Guidelines for Single Lot Development

The objective during the development of an individual lot is to minimize erosion and release of sediment offsite by controlling the development and construction activities. Single lot erosion and sediment control measures include: planning the construction access, minimizing clearing and grading activities, control of excavated soil stockpiles, surface and slope preparations, and surface runoff control.

Site layout and Clearing

Individual lot development should be designed and constructed to have regards to the general principles of erosion, and sediment control.

Specifically:

- Design and layout of the building site to minimize impervious areas.
- Retain existing vegetation and ground cover where possible.
- Schedule construction to dry months of the year.
- Restrict vehicle access and provide a surface working area of crush gravel; 4.5m wide and length to suit construction site.
- Minimize clearing and stripping of setbacks and easements.
- Clearly mark building area and clearing boundaries onsite.
- Road surface sweeping when required, with no flushing loose dirt off to roadways.



Soil Erosion Control

Surface soil erosion from individual lots and building sites is generated mainly from soil excavations and graded areas. To minimize erosion onsite the following should apply:

- Cover temporary fills or soil stockpiles with polyethylene, or tarps, and provide silt fencing around stockpiles.
- Re-vegetate or final landscape disturbed areas as soon as practically possible.
- Limit machine access and operation to prepared access areas only.

Drainage and sediment Control

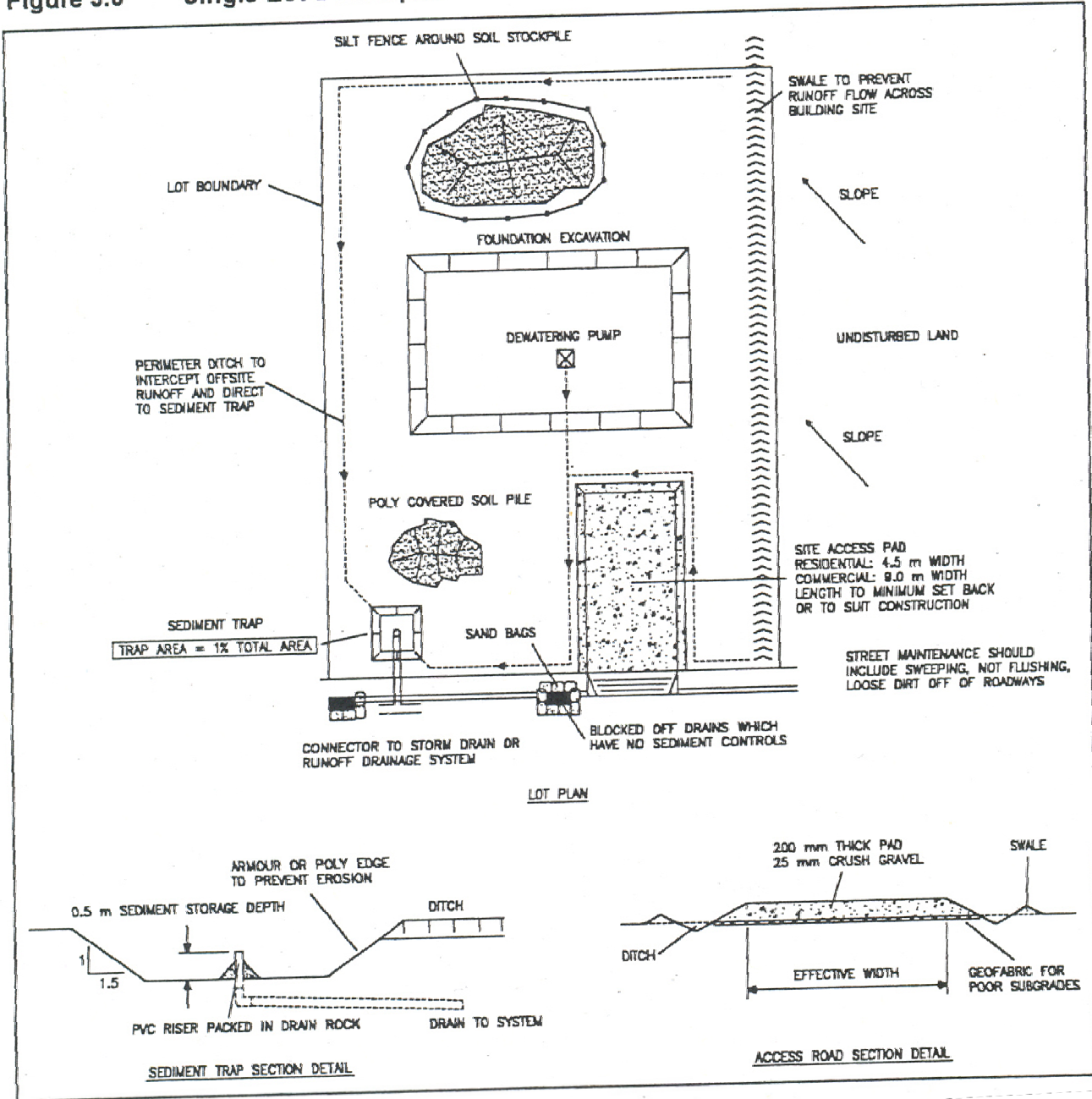
Site drainage features can usually incorporate sediment control features to limit the offsite transport of sediments directly into watercourses or into storm drainage systems that discharge into watercourse:

- Divert runoff away from cleared areas by use of swales or low berms.
- Utilize silt fences around soil stockpiles and sloped areas.
- Collect runoff into site sediment traps prior to discharge offsite.
- Storm sewer inlet protect for catch basins from silt by way of siltation filter sock inserts.

Figure 3.6 illustrates a typical lot development plan with erosion and sediment control features.



Figure 3.6 Single Lot Development Erosion and Sediment Control Features



Other related information:

[Demolition Permit Application](#)

[Tree Protection](#)



Demolition Permit Application



Office Use Only: BP _____

To be used for entire demolition of building only. For partial demolitions, a Building Permit is required for alteration to an existing structure.

Site Address: _____

Owner(s): _____

Address: _____

City: _____ Postal Code: _____

Phone No: _____ Email: _____

Agent: _____

Address: _____

City: _____ Postal Code: _____

Phone No: _____ Email: _____

Demolition Contractor: *if different from agent

Address: _____

City: _____ Postal Code: _____

Phone No: _____ Email: _____

- Demolition of:
- Single Family Dwelling Commercial Industrial Institutional
 - Accessory Structure Farmhouse
 - Secondary Suite
 - Pool - choose one → Sand Filter (inspection required) Cartridge

Date of Demolition: _____

Property Owner(s) or Authorized Agent Signature

Date

*If Agent, please submit completed Schedule 3.



Application Centre, Community Planning & Development

Contact Us: 604-946-3380 or CPD@delta.ca

July 2018

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Owner’s Undertaking

Property Address: _____

PID: _____

Proposed Construction: _____

This undertaking is given by the undersigned, as the owner(s) of the property described above, with the intention that it be binding on the owner(s) and that Delta will rely on same.

I confirm that I have applied for a building permit pursuant to “Delta Building/Plumbing Bylaw No. 8065, 2021” and that I have carefully reviewed and fully understand all of the provisions of the Bylaw and in particular, understand, acknowledge and accept the provisions describing the purpose of the Bylaw, the conditions under which permits are issued, the disclaimer of warranty or representation and the limited extent of the scope of the Bylaw and inspections thereunder.

Without in any way limiting the foregoing, I acknowledge fully that it is my responsibility, whether or not any work to be performed pursuant to the permit applied for is done by me, a contractor or a registered professional, to ensure compliance with the Building Code and the Bylaw.

I am not in any way relying on Delta or the **Building Officials** of Delta, as defined under the Bylaw, to protect the owner or any other persons as set out in Section 1.2 of the Bylaw and I will not make any claim alleging any such responsibility or liability on the part of Delta or its **Building Officials**.

Owner’s Information (must include all owners on title of subject property):

Name(s): _____

Signature(s): _____

Date: _____



Owner’s Authorization

Property Address: _____

PID: _____

Proposed Construction: _____

As the owner of the above referenced property, I/we hereby authorize:

Applicant Name: _____

Address: _____

City: _____ Postal Code: _____

Phone No. _____ Email: _____

To represent the owner in an application for (please check ✓ where applicable):

- Building Permit Demolition Permit
- Highway Use Permit Subtrade Permit

To view or receive copies of: Correspondence and/or Permits Permit Plans

To receive a building permit: As the owner of the subject property prior to transfer of title

To receive an access code for MyCity:

To act as a representative for the numbered company: _____

Owner’s Information (must include all owners on title of subject property):

Name(s): _____

Signature(s): _____

Date: _____



Rodent Inspection and Control Declaration



I, _____ hereby declare I am qualified and licensed to apply structural pest
management techniques to manage and control rodent infestations.
Print name

I declare that the building and property located at _____
has been inspected by me and evaluated for the presence of rodents. My findings are
summarized as follows:
Civic address

I have taken all necessary actions, using appropriate integrated pest management techniques, to eradicate any rodents found inside the building and on the property. Specifically (check the options that apply):

- No control measures were required as no evidence of current rodent activity was found
- Mechanical traps and/or bait stations were used to check for current rodent activity
- Use of mechanical trapping methods were necessary to control rodents
- Use of approved rodenticides were necessary to control rodents

As of the date below, I confirm there was no evidence of rodent activity on the subject property.

Date: _____

Signature: _____

Phone Number: _____

Business Name: _____

Business Address: _____

I hereby confirm we have a current Delta Business Licence and/or Inter-Municipal Licence

Note: Your contact information is considered business contact information and it will be released on request.

For Office Use Only	
Application No.: _____	Reference No.: _____
Received By: _____	Date Received: _____





CERTIFICATE OF INSURANCE

This Certificate is issued to: **City of Delta, 4500 Clarence Taylor Crescent, Delta, B.C. V4K 3E2**

Insured

Name:	
Address:	

Broker

Name:	
Address:	

Location and nature of operation or contract to which this Certificate applies:

--

Type of Insurance	Company & Policy Number	Policy Dates		Limits of Liability/Amounts
		Effective	Expiry	
Section 1 Comprehensive General Liability &/or Umbrella Liability Including: <ul style="list-style-type: none"> ▪ Broad Form Products/Completed Operations; ▪ Sudden & Accidental Pollution ▪ Blanket contractual; ▪ Contractor's Protective; ▪ Personal Injury; ▪ Contingent Employer's Liability; ▪ Broad Form Property Damage; ▪ Non-Owned Automobile; ▪ Cross Liability Clause. 				Bodily Injury, Property Damage and additional coverages as required; \$ _____ Primary \$ _____ Excess \$ _____ Umbrella \$ _____ Aggregate \$ _____ Deductible Minimum Liability required; \$5,000,000
Section 2 Automobile Liability	If vehicles are insured by ICBC provide the ICBC form APV-47			Bodily Injury and Property Damage \$ _____ Limit Minimum Liability required \$2,000,000 Inclusive

It is understood and agreed that the policy/policies noted above shall contain amendments to reflect the following:

1. Any Deductible or Reimbursement Clause contained in the policy shall not apply to City of Delta and shall be the sole responsibility of the Insured named above.
2. City of Delta is named as an Additional Insured.
3. 30 days prior written notice of material change and/or cancellation will be given to City of Delta.
4. Contractor's Equipment Insurance shall be endorsed waiving all rights of subrogation against City of Delta.
5. Section 1 shall be endorsed to include insurance for demolition; blasting; pile driving; caisson work; removal or weakening of support for building land or property; and any other work below ground level, if such work is required in the contract.

I hereby certify that the Insured's Insurance Program meets or exceeds all of the requirements above.

Name (Print)

Authorized Signatory & Broker Stamp

Date

Tree Protection on Development Sites

The City of Delta aims to preserve and protect trees by:

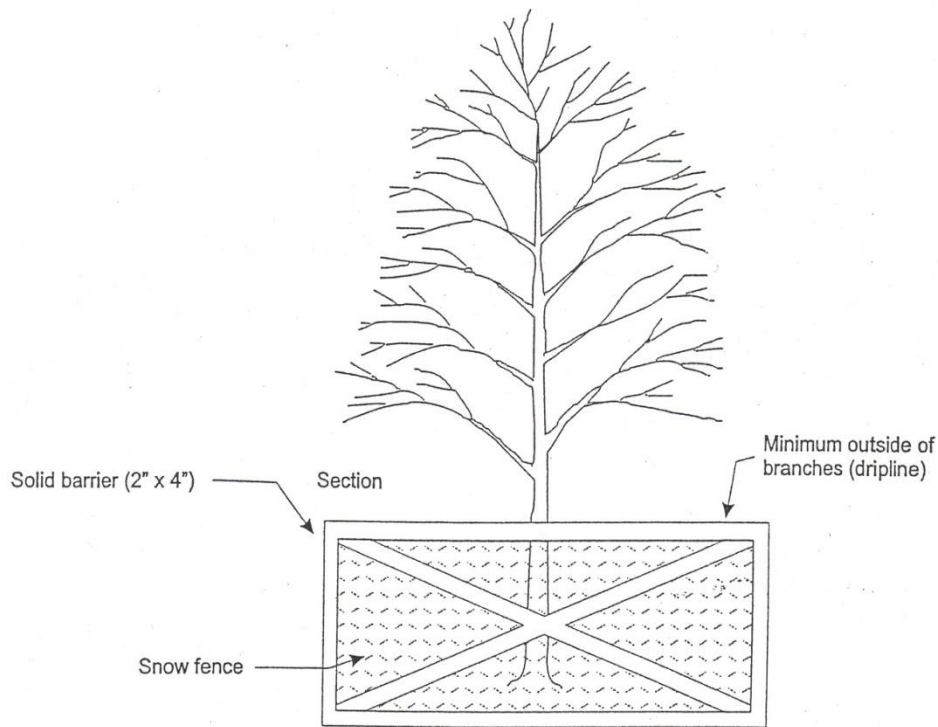
- Encouraging the preservation of existing trees and significant vegetation as wildlife habitat;
- Retaining as many trees as possible during site development or redevelopment; and
- Protecting mature trees, heritage trees and urban forests.

What you need to **know...**

- Trees should not be removed in advance of submitting your development application;
- **Cutting of trees greater than 20 cm (8") diameter requires a permit** under "Delta Tree Cutting Regulation Bylaw No. 6336";
- Trees to be protected, including trees on adjacent streets and properties, must be identified on all plans submitted for permits;
- Efforts should be made to retain as many trees as possible. In most cases, a report about the condition of trees on the property, prepared by a certified arborist, must be submitted with your application;
- For trees that are approved to be cut, the replacement ratio is a minimum of 2 for 1 but may be higher depending on the recommendations of the arborist;
- Retained trees are to be protected by fencing to Delta standards prior to any building, demolition, servicing works or construction (see reverse for fencing specifications);
- Demolition and building permits will be issued only after a successful inspection of tree protection measures;
- If trees have been damaged during the development process, or cut without a permit, or if any other contravention of a development approval or permit occurs, possible implications include stop work orders, construction delays, requirements for tree replacement, or fines;
- In cases where new tree planting is required, security will be taken at the time of building permit issuance and may be held to cover installation and maintenance;
- Tree protection barriers are not to be removed until the Building Inspector gives approval to do so; and
- It is the responsibility of the owner to determine if a Tree Protection Covenant is registered on the title of the property. A covenant is a legal agreement and remains in effect when ownership of the property is transferred to another party. The new owner is responsible for upholding the agreements. Contravention of such agreements may result in substantial tree replacement costs.



Specification for Tree Protection Barriers



1. A protective barrier must be installed around every *tree* to be retained prior to the work commencing onsite, and that barrier must remain intact until the *Director* has authorized its removal.
2. Maintenance of trees that are to remain must include watering.
3. Any excavation adjacent to the protective barrier must be done by hand.
4. Maintenance of *trees* that are to remain must include watering but will not include any *cutting* or pruning of branches or roots unless approved by the *Director*.
5. The dimensions of the protective barrier must be equal to the extent of the *drip line*, or 30 cm per every 2.5 cm of tree caliper, whichever is greater.
6. Measurements in relation to *tree* caliper must be taken at the *base* of the *tree*.