

This sample is intended as a guide only and may be used to assist in preparing plans for enclosing a carport to a garage.

Applications for building permits must be accompanied by completed Schedules 2 and 3, Form H Soil Contamination Review, a deposit and two (2) sets of plans which include the following:

- Site Plan
- Cross Section
- Floor Plan
- Front Elevation

Note:

- Only complete application will be accepted.
- Drawings must be to scale – 1/4" = 1'0" (Site plan 1/8").
- **(Drawings on graph paper and pencil drawings cannot be accepted).**
- Sample drawings are attached.

“Delta Zoning Bylaw 7600, 2017” requires each single family dwelling to have parking for at least one (1) vehicle within a garage. Please refer to the following:

8.5.3 STANDARD PARKING SPACES

A *parking space* required by this Bylaw shall have a minimum clear height of 2.2 m and minimum rectangular dimensions of 2.75 m by 5.5 m, except that

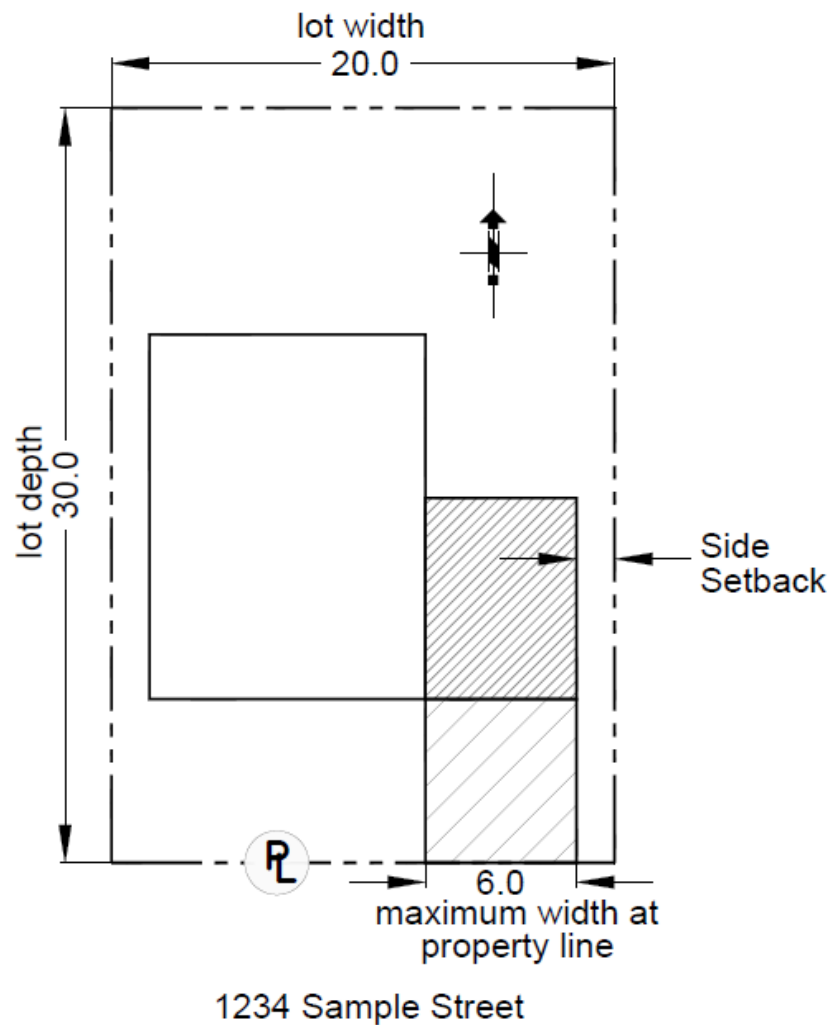
- (a) minimum dimensions for a parallel *parking space* shall be 2.4 m by 6.7 m,
- (b) where a side of a *parking space* abuts a wall, a column, a pillar, a tree, a *fence*, a pole or other obstruction or part thereof extending in excess of 0.3 m in vertical height above the level of the *parking space*, the minimum width of such *parking space* shall be 3 m, and
- (c) where a *parking space* abuts a pedestrian walkway, an area of ground cover or a *landscaped* open space greater than 1 m in width that contains no plants, vegetation, *structures* or other features taller than 0.3 m, the minimum width of such *parking space* shall be 2.4 m.



SITE PLAN

Must include:

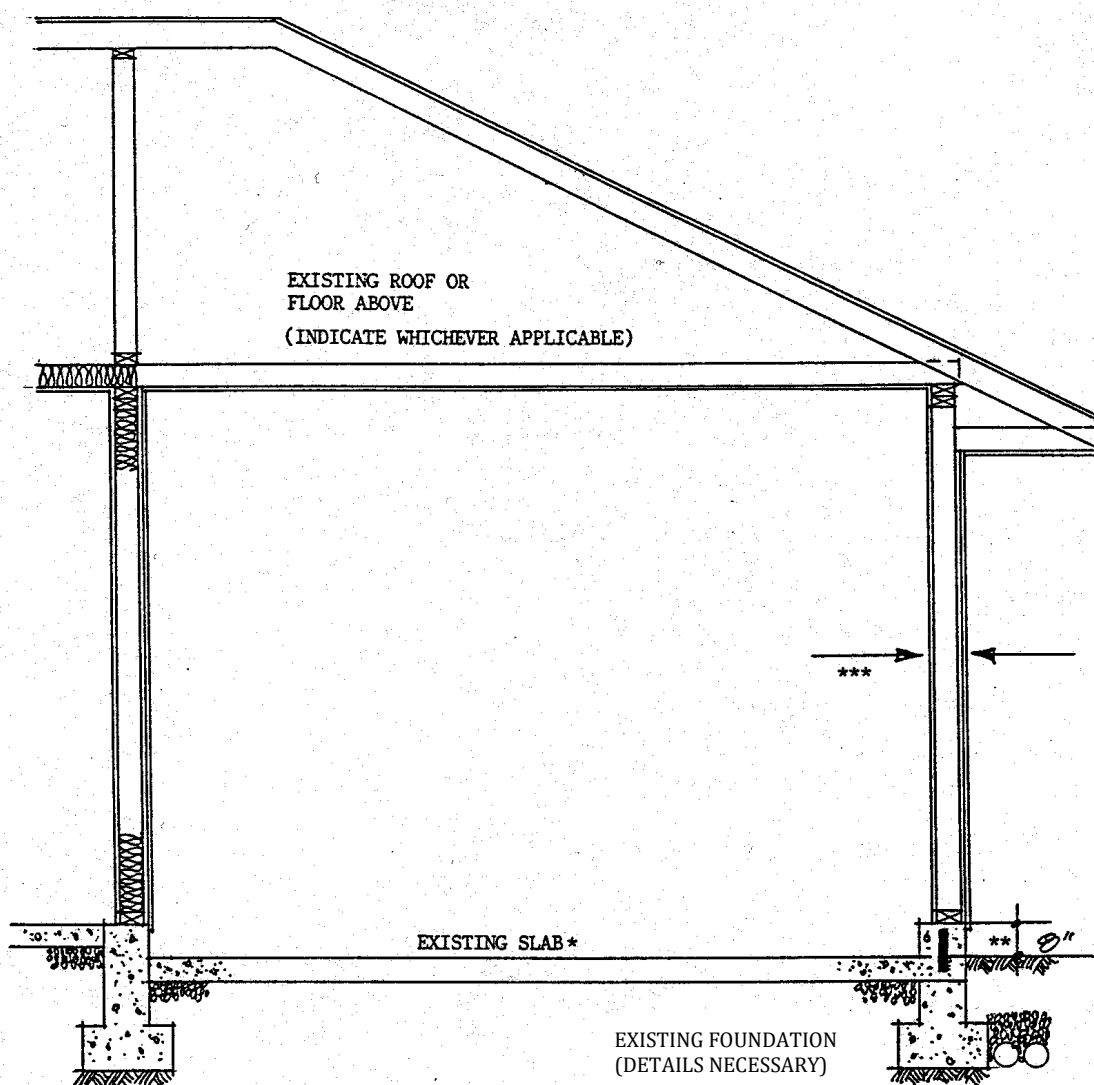
- Civic address
- Indication of North arrow
- Distance from the front and side property lines to the existing carport
- Location and width of existing or proposed driveway
- Lot dimensions
- Proposed paving/landscaping



CROSS SECTION

Must include:

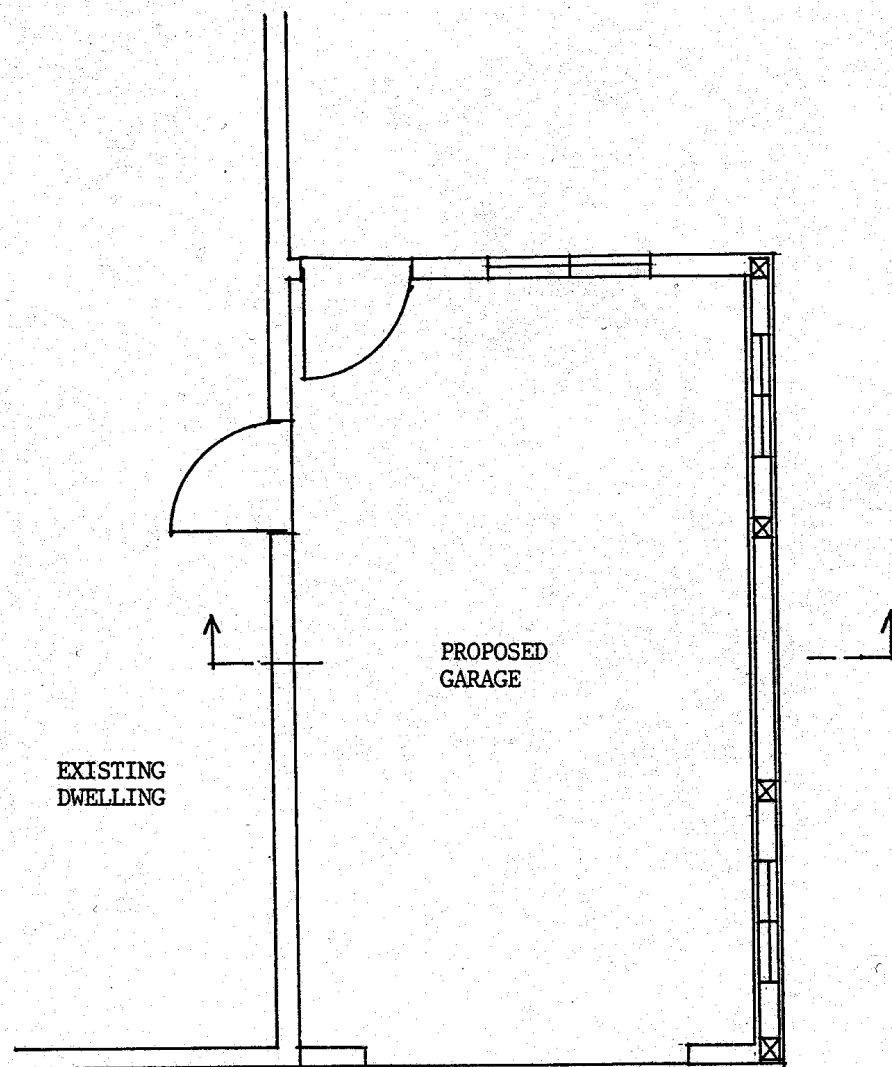
- Thickness of existing slab. Check slab for signs of settling or cracking.
- An 8" curb wall is required around the perimeter of the garage, including either side of the overhead door opening. Bond the curb wall of the existing slab with re-bar.
- Size, spacing and thickness of wall framing, sheathing and siding.
- Perimeter footing required at 18" depth minimum for frost protection.



FLOOR PLAN

Must include:

- Dimensions of garage.
- Size and locations of new windows and doors.
- Location of existing windows and/or door in the wall common to the dwelling. The B.C. Building Code requires a gas seal between a garage and dwelling unit. Windows would have to be sealed up and doors would have to be weather stripped and equipped with a self-closing devise.
- The B.C. Building Code does not permit a garage door to open into a bedroom.
- The B.C. Building Code does not permit windows in walls that are less than 1.2 m. (4'0") from the property line.



FRONT ELEVATION

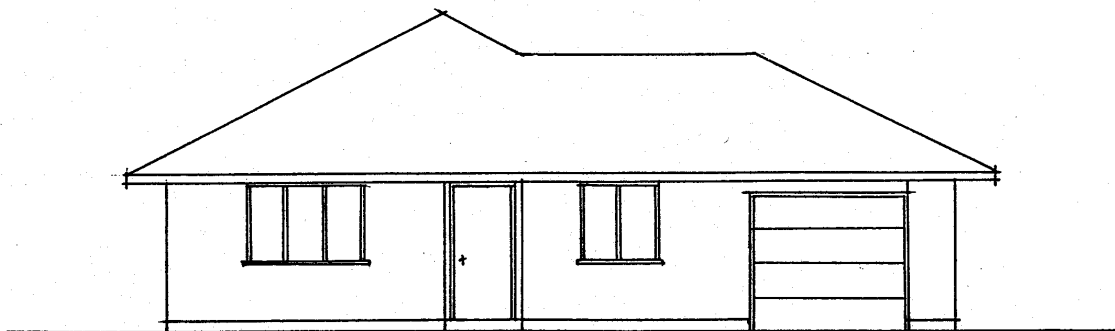
Must include:

- View of the front of the house after the carport enclosure has been completed.

Permeable/Front Yard Surfaces

Site plans submitted with building permit applications must now include the following information. Please label all material and show calculations.

- **Maximum Impermeable Area**
 - (a) In the RS1 to 7, RSC and RD zones, not more than 60% of the total area of the *lot* shall be covered by *impermeable material*.
 - (b) That portion of an eave which is deeper than 0.6 m shall be considered to be *impermeable material*.
- **Calculate Front Yard Landscaping**
 - (a) In the RS and RD zones other than RSF, not less than 50% of the front yard shall be occupied by *landscaping*. Porches and verandas are not considered front *yard* area for the purpose of determining front *yard landscaping*.
 - (b) On a lot where the minimum front yard landscaping requirement specified in Subsection (a) cannot be met



without reducing the width of the only driveway providing a required access to and from the *street*, the minimum requirement may be reduced but only to the extent required to permit a driveway not exceeding 6 m in width.

Subsections (a) and (b) do not apply to lots with a front lot line abutting Georgia Strait or Boundary

