

- Accessory buildings less than 10 square metres do not require a building permit but must be sited in accordance with zoning regulations.
- All buildings exceeding 400 square meters in building area, or exceeding 3 storeys in building height, are considered complex. Additional requirements apply. Please contact the Senior Plan Checker in the Building Division for more information.
- Please see “Farm House Accommodation” checklist for further information on requirements for Farmhouses and Additional Farmhouses.
- Buildings accessory to the farmhouse only, please refer to separate checklist for farm buildings including barns, greenhouses and farm storage buildings.

The following must be submitted with your completed building permit application form:

- Completed Schedule 2, Owner’s Undertaking
- Completed Schedule 3 (if applicant is not the owner of the property)
- Construction Drawings (2 SETS)
 - Site Plan** (including the following):
 - Legal description, civic address, and dimensions of site
 - Dimensions of existing and proposed buildings
 - Calculation of ‘Floor Area - Farm House’
 - Setbacks from proposed accessory building(s) to property lines
 - Setbacks from accessory structures to natural boundaries of any water or water course
 - Existing/new driveway access and driveways (if new driveway access is proposed, show culverts if required)
 - Location of water and sewer lines if plumbing is proposed
 - Location of “Farm Home Plate” **(see attachment)**
 - Foundation plan
 - Floor Plan(s) (including the following):**
 - Dimensions
 - Window and door sizes
 - Lintel and beam sizes
 - Roof and floor framing plan(s)
 - Elevations**
 - Cross Section(s) (listing the following) and details:**
 - Heights including overall height and floor to ceiling height(s)
 - Roofing materials and assembly
 - Wall assemblies
 - Floor assemblies
 - Foundation materials, sizes and details
(Floor must be built at a minimum of 0.3 m above the natural grade)
- Non-refundable deposit



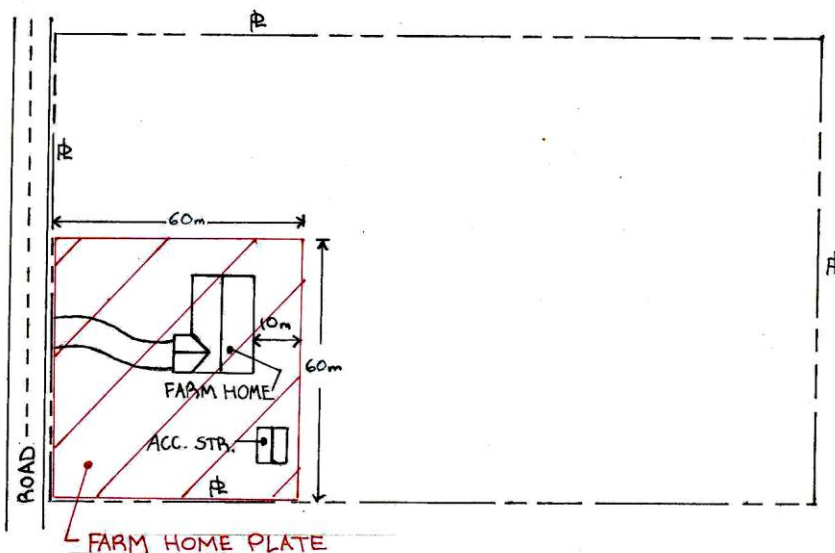
Farm Home Plate Definition:

The Farm Home Plate is the portion of the property including the farm house accommodation, any additional farm house accommodation, and any associated accessory farm residential facilities. Accessory farm residential facilities include:

- attached or detached garages
- decorative landscaping
- attached or detached household greenhouse or sunroom
- residential-related workshop, tool, and storage sheds
- artificial pond not serving farm drainage or irrigation needs
- residential related recreation facilities e.g. swimming pools and tennis courts
- 'Floor Area - Farm House'

Siting Requirements for Farmhouses:

- Maximum area of a Farm Home Plate containing one farm house is 3,600 m²
- Maximum area of a Farm Home Plate containing a farm house and an additional farm house is 5,000 m²
- All accessory residential facilities should be included within this area
- Maximum depth for a Farm Home Plate is 60 m measured from a dedicated and constructed road
- One boundary of a Farm Home Plate must be located at a property line fronting on a road from which vehicular access is obtained
- The rear face of a farm house or additional farm house must not be less than 10 m from the rear of the Farm Home Plate
- Minimum Farmhouse setback from: - Front Lot Line – 6m
- All Other Lot Lines – 15m



For further application requirements and information, please click on the hyperlinks:

[Building Permit Application Form](#)

[Schedule 2](#)

[Schedule 3](#)



Application Centre, Community Planning & Development

Contact Us: 604-946-3380 or CPD@delta.ca

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