

This sample is intended as a guide only and may be used to assist in preparing plans for additions to single detached dwellings.

Applications for building permits must be accompanied by completed Schedules 2 and 3, a deposit and two (2) sets of plans, drawn to scale – 1/4" = 1'0" (Site plan 1/8") which include:

- Site plan, including calculation of site coverage, floor space ratio, and special calculations
- Foundation and lower floor plan
- Roof and upper floor plan
- Elevations of addition, and front elevation of dwelling and addition if addition can be viewed from the street
- Cross section
- Calculation of the area covered by impermeable material
Maximum of 60% of the total lot area may be covered by impermeable material. Impermeable material restricts water from penetrating into the ground and includes buildings, structures, asphalt, concrete, brick, stone and wood surfaces.
- Calculation of the front yard landscaping
A minimum of 50% of the front yard is to be landscaped and not used for parking. Landscaping is defined as any combination of trees, bushes, shrubs, plants, flowers, lawns, bark mulch, decorative boulders, decorating paving, planters, sculptures, decorative fences, and the like, arranged and maintained so as to enhance and embellish the appearance of the property.
- If a Basement is proposed, a site plan is required with the following information:
 - Corner and mid-point elevations (natural/finished)
 - Elevations of existing servicing connections
 - MBE for the dwelling
- If a pumped system is required, the applicant must provide the following information:
 - A sealed design of the pump system and a letter of assurance from a Professional Engineer
- The pump design must include:
 - a dual or duplex pump
 - an appropriate backflow prevention device
 - temporary power back-up
 - an alarm audible within the premises

Drawings must include a statement regarding conformance to the B.C. Building Code.

(Please Note: Drawings on graph paper and pencil drawings cannot be accepted)

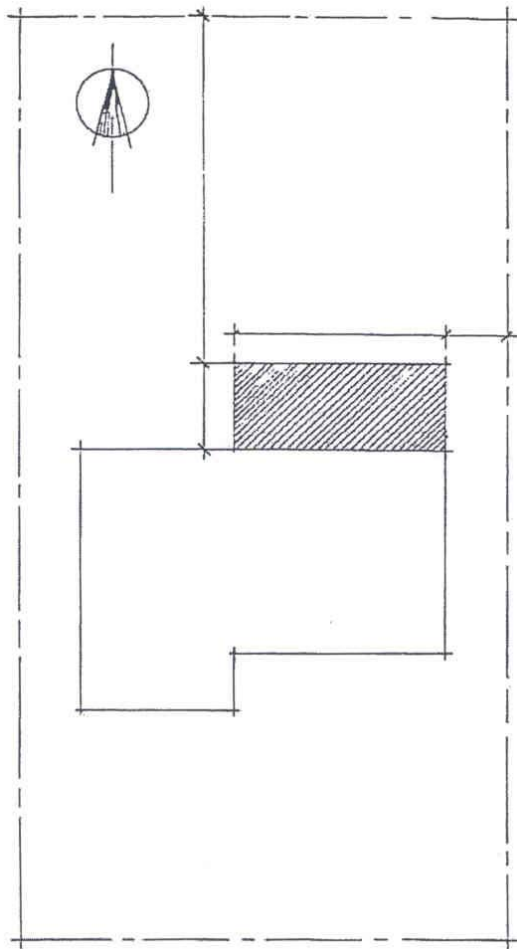


SITE PLAN

Must include:

- civic address
- dimensions of site and adjoining street(s)
- location and width of existing or proposed driveway
- dimensions and location of existing buildings and proposed addition
- setbacks from proposed addition to property lines
- calculation of site coverage & floor space ratio
- calculation & details of front yard landscaping & impermeable surfaces
- north arrow
- proposed paving/landscaping/location of existing trees if any
- statement that plans conform to the B.C. Building Code

Information on minimum setbacks from property lines, density and site coverage is available in a separate handout entitled "Single Detached Zones Fact Sheet"

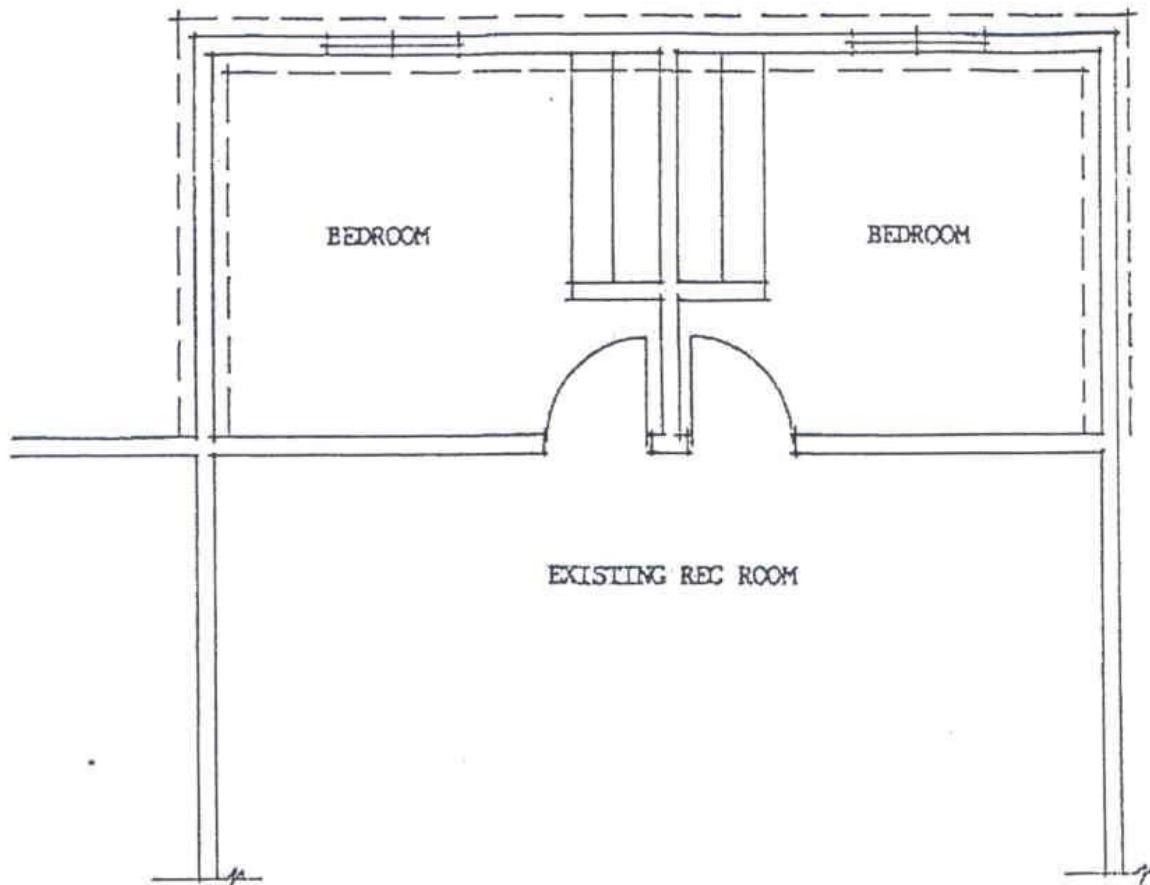


FOUNDATION AND LOWER FLOOR PLAN

Must include:

- outline of foundation wall and footing
- size and location of pad footings
- interior and exterior dimensions
- size and location of beams and floor joists (for floor above)
- all rooms and use of each, including those immediately adjacent to the proposed addition
- size and location of windows and doors
- rise and run of stairs
- all new or altered plumbing fixtures

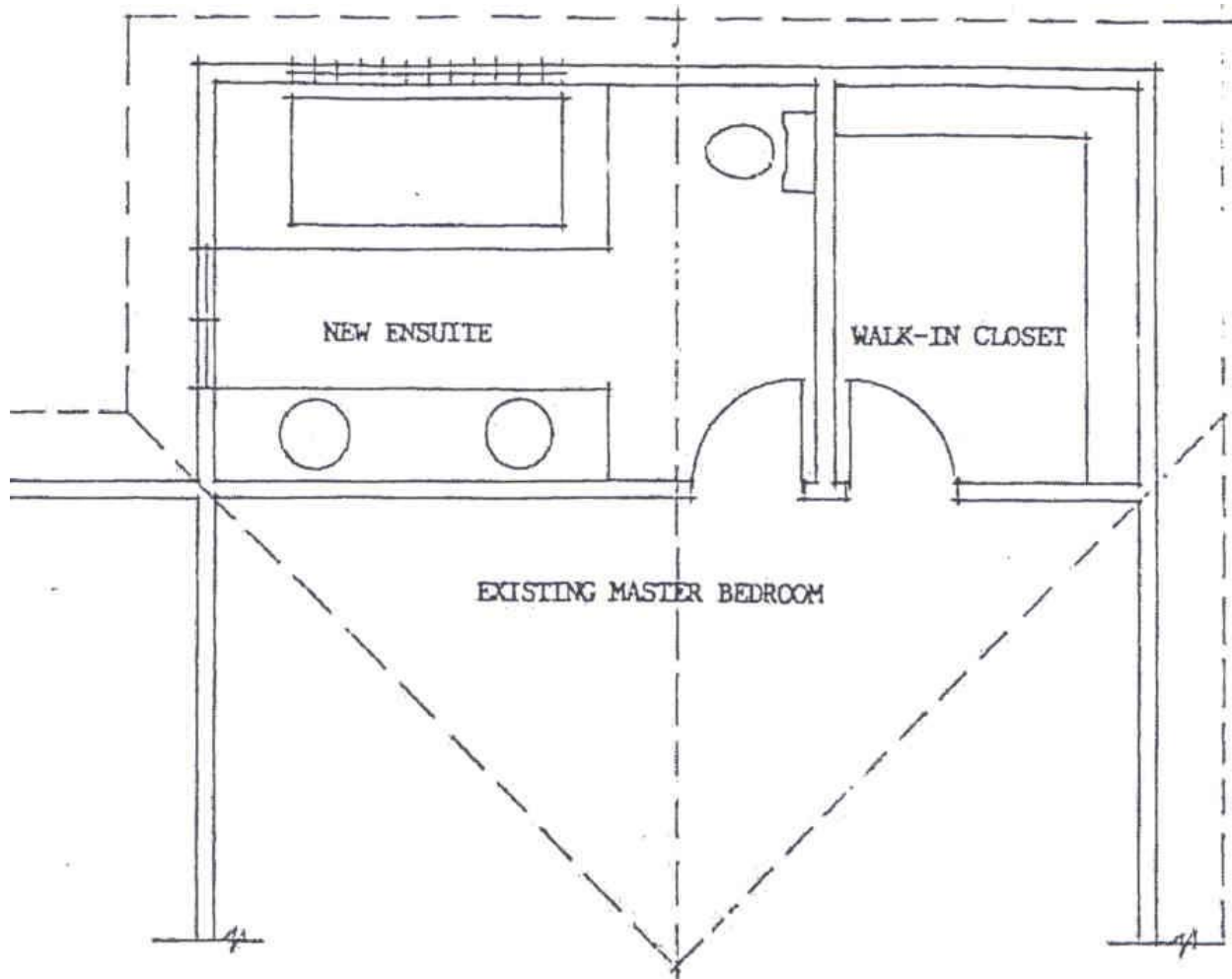
NOTE: This sample is for a slab on grade dwelling. Crawl space construction would require a separate foundation and floor plan.



ROOF AND UPPER FLOOR PLAN

Must include:

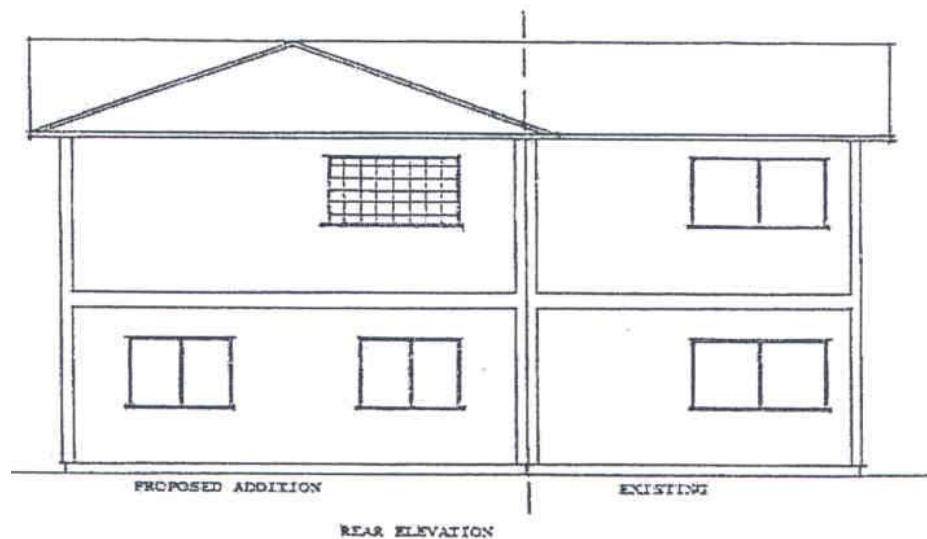
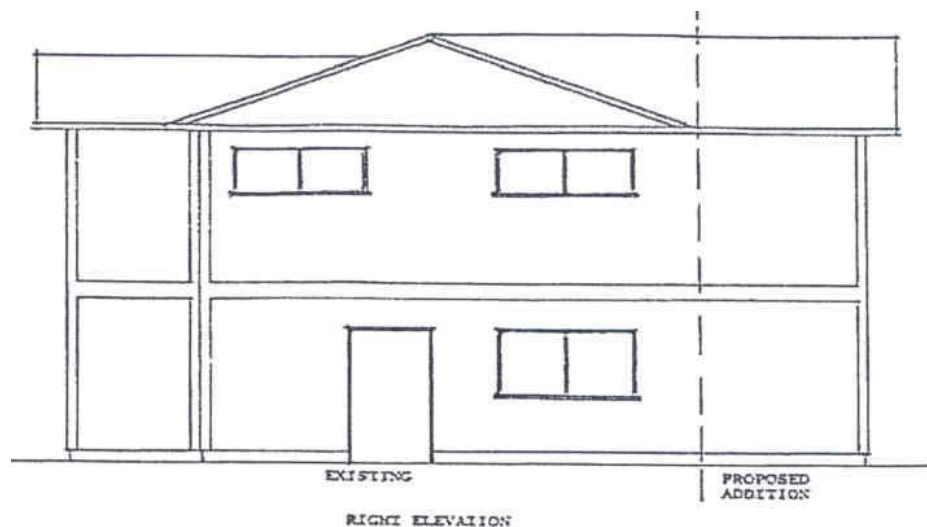
- ridge and valley lines of roof
- direction and spacing of trusses or framing members
- size and location of beams
- interior and exterior dimensions
- all rooms and use of each including those immediately adjacent to the proposed addition
- size and location of windows and doors
- all new or altered plumbing fixtures



ELEVATIONS

Must include:

- two (2) full views of front, rear and/or both sides of dwelling; choose those most affected by the addition
- side elevations which must show sizes of existing windows
- exterior finishes
- railing construction and height for sundeck additions
- rise and run of stairs
- building height
- spatial separation calculations



CROSS SECTION

Must include:

- size, thickness and spacing of materials
- roof, wall and floor framing
- sheathing thickness
- drywall thickness
- vapour barrier and insulation values
- exterior finishes for wall and roof
- foundation wall and footing sizes and depth
- slab thickness
- floor to ceiling height

