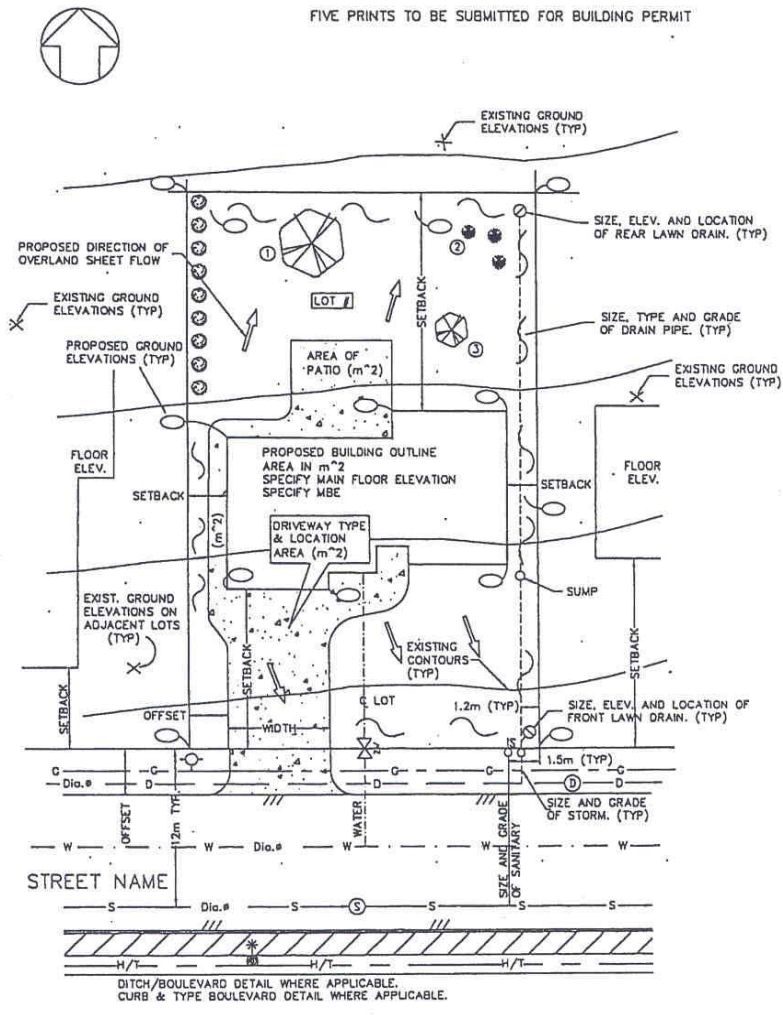


This plan is required to be prepared by a registered British Columbia Land Surveyor and/or Civil Engineer for the subject property and is required to include the following information:

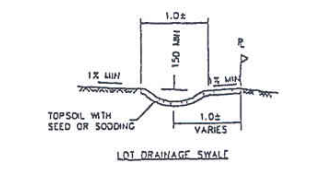
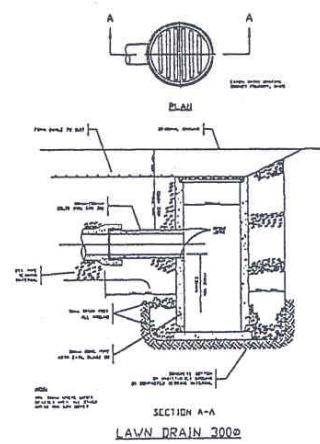
- Civic address of the site
- North arrow and drawing scale in metric (minimum acceptable scale is 1:250)
- Area and dimensions of the site or proposed lots, including lot width which is measured at the front setback line
- Location of all existing buildings on the site, indicating if they are to be removed or retained
- Location and dimensions of proposed buildings (clearly indicate building footprint in bold and overhang and cantilever features in dashed line)
- Location and dimensions of existing and proposed patios, decks, walkways, parking areas and driveways
- Locations, species, height and diameter of existing trees and hedges (7 cm calliper and larger) on the site, adjacent lots and within the boulevard
- Proposed and required minimum setbacks for all buildings from **each** lot line
- Proposed and required front or flanking side setback from the centre line of an abutting street where special setbacks apply
- Existing setbacks of buildings/structures on all adjacent properties which share a common fronting street(s) with subject site
- Minimum Building Elevation (MBE) for all proposed buildings
- Existing and proposed ground elevations at corners of the proposed buildings
- Existing and proposed ground elevations at corners of the site or proposed lots
- A minimum of 3 corresponding, side by side ground elevation points on each abutting property and the site or proposed lots
- Other spot elevations on each of the neighbouring properties, including those to the rear
- Lot grading and drainage details, including pipes, service connections, swales, lawn basins, rock pits, and height of all retaining walls (Letters of approval are required from all neighbours affected by any proposed retaining walls at the Building Permit stage)
- Location and diameter of all existing and proposed water, sanitary and storm services
- Location and dimensions of abutting streets, including the boulevard, curb and drainage details
- Location and dimensions of all existing municipal mains along the entire street frontage, including water, sanitary sewer and sewer
- Location of other utilities such as gas, hydro and telecommunications along the entire street frontage
- Location and dimensions of any existing and proposed rights-of-way and easements
- Any additional requirements specific to the subject site or project, e.g. location and dimensions of a septic system, a cross-section drawing showing all the proposed retaining walls and their heights when there are elevation differences with adjacent properties



FIVE PRINTS TO BE SUBMITTED FOR BUILDING PERMIT



APPROVALS



**LEGEND**

- ⊙ CONTROL MONUMENT FOUND
- ⊙ IRON PIN FOUND
- ⊙ CATCHBASIN
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM SEWER MANHOLE
- ⊙ LAWN BASIN
- ⊙ POWERPOLE
- ⊙ HYDRANT
- ⊙ WATER VALVE
- ⊙ GAS VALVE
- ⊙ ELECTRICAL BOX
- ⊙ LIGHT STANDARD
- ⊙ DITCH/SWALE
- DIRECTION OF OVERLAND DRAINAGE
- PROPOSED ELEVATIONS
- MBE
- MINIMUM BASEMENT ELEVATION
- IMPERMEABLE SURFACES

**GENERAL NOTES:**

- 1) ALL UNITS ARE METRIC, UNLESS SHOWN OTHERWISE.
- 2) ALL SURFACE RUNOFF MUST BE CONTAINED & DISPOSED OF ON SITE.
- 3) LEGEND REQ'D AS PER DEVELOPMENT BYLAW.
- 4) SHOW ALL RIGHTS OF WAYS & EASEMENTS.
- 5) HIGHWAY USE PERMIT WILL BE REQUIRED FOR DRIVEWAY ACCESS AND ANY OFF SITE CONSTRUCTION.
- 6) ALL UTILITIES FROM PROPERTY LINE MUST BE IDENTIFIED WITH OFFSETS.
- 7) SITE PLAN DESIGN TO INCLUDE ALLOWANCE FOR EXCESS FOUNDATION MATERIAL.
- 8) AS BUILT SITE PLAN MUST BE SUBMITTED PRIOR TO RELEASE OF SITE PLAN SECURITY DEPOSIT.

| SITE COVERAGE TABLE          |                                   |                                 |
|------------------------------|-----------------------------------|---------------------------------|
| TOTAL FRONT YARD AREA (sq.m) | LANDSCAPED FRONT YARD AREA (sq.m) | FRONT YARD LANDSCAPED (MIN 50%) |
| TOTAL LOT AREA (sq.m)        | TOTAL IMPERMEABLE LOT AREA (sq.m) | IMPERMEABLE LOT AREA (MAX 80%)  |

| POINT # | TRUNK # (m) | TYPE         | CROWN # (m) |
|---------|-------------|--------------|-------------|
| 1       | 2.7         | MAPLE TREE   | 15          |
| 2       | 0.5         | ARBUTUS TREE | 6           |
| 3       | 1.3         | SPRUCE TREE  | 9           |
| 4       |             |              |             |

|                    |       |
|--------------------|-------|
| ENGINEERING REVIEW | DATE: |
| LANDSCAPE REVIEW   | DATE: |

SCALE (METRIC)  
1 : 250 (TYP)

F:\DRAFTING\PBANTON\VICIS\SITE&LOT1.DWG

| No. | BY | DATE | REVISIONS |
|-----|----|------|-----------|
|     |    |      |           |

| CONSULTANT IDENTIFICATION |  | DESIGN BY | DATE (DD MM YY) |
|---------------------------|--|-----------|-----------------|
|                           |  |           |                 |

SITE PLAN (SAMPLE) PROPERTY ADDRESS  
SINGLE FAMILY BUILDING PERMIT

SHEET 1 OF 1

